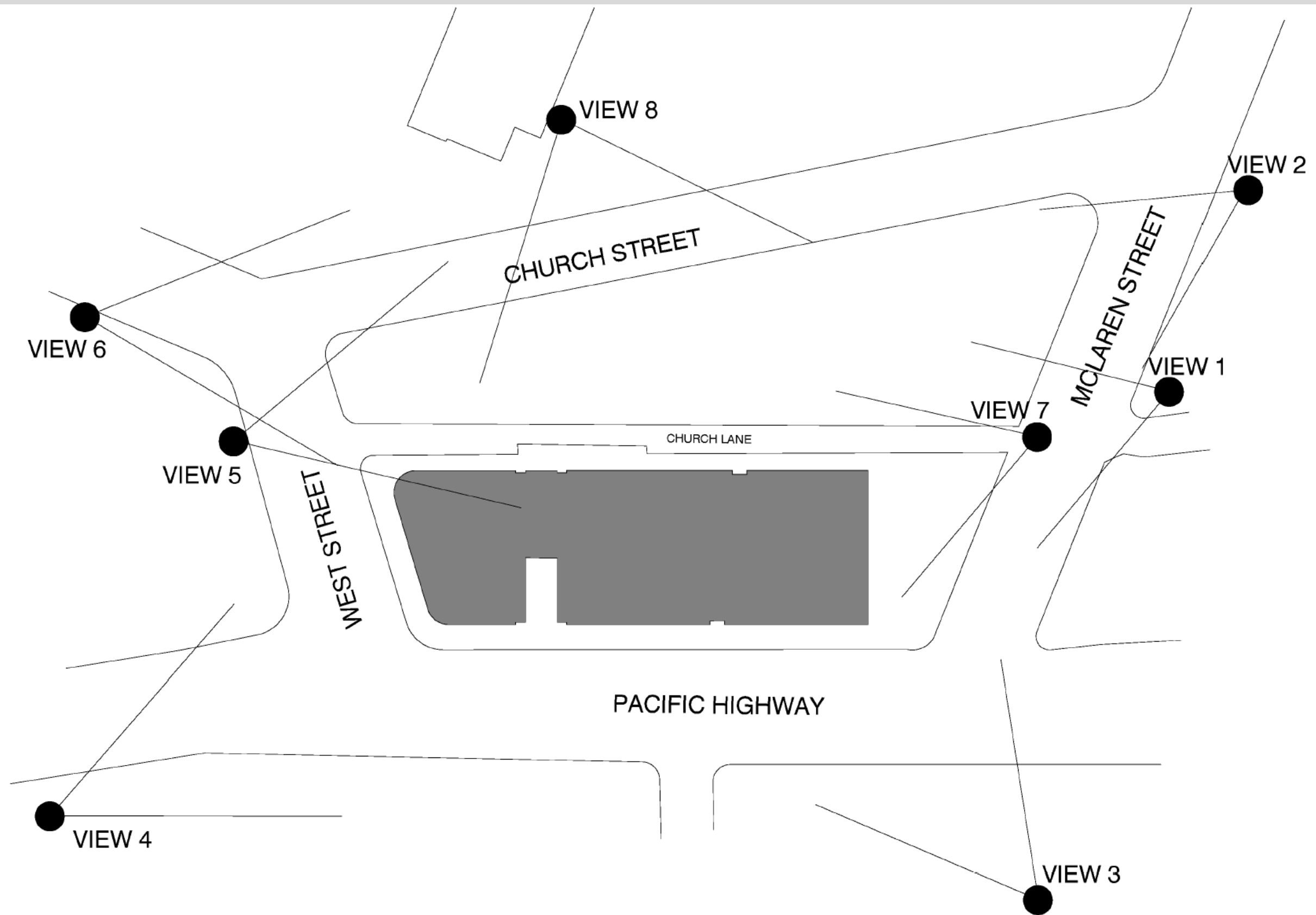


VIEW STUDY OF AK PLANNING PROPOSED
BUILDING FORM AND THE PROPOSED
PLANNING PROPOSAL BUILDING FORM .

RESPONSE TO AK PLANNING LETTER DATED
17 August 2021

253-267 PACIFIC HWY, NORTH SYDNEY

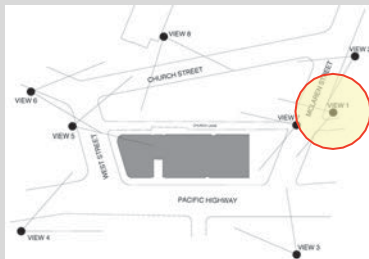
06/09/21



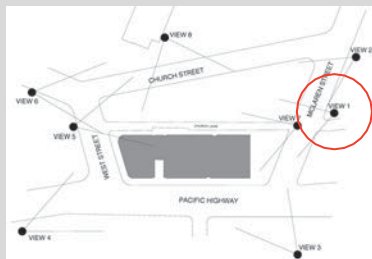
VIEW LEGEND



PLANNING PROPOSAL BUILDING FORM



VIEW 1 - CORNER OF ANGELO LANE AND McLAREN ST



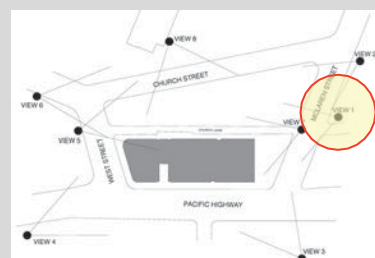
AK PLANNING PROPOSED BUILDING FORM
REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

VIEW 1 - CORNER OF ANGELO LANE AND McLAREN ST



COMPARISON OF THE TWO SCENARIOS

- Reducing the podium height from 3 to 2 storeys improves the visual presence for the contributory item on corner of McLaren St
- The reduction in street wall scale to the laneway enhances the slender proportions of the tower form.
- The proposed increase tower setback results in only limited reduced perceived bulk and does not alter the scale hierarchy between the new built form and existing development east of the laneway.



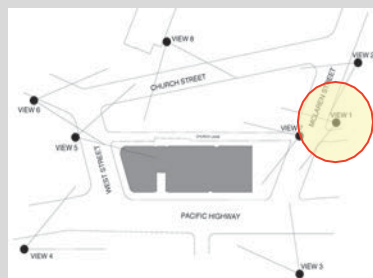
VIEW 1 - CORNER OF ANGELO LANE AND McLAREN ST

• If the increased 2m set back is adopted, it may result in a reduced tower apartment amenity, mix and utilities limitations



REVISED PROPOSAL- ARTICULATED TWO-STOREY SOUTHERN PODIUM & RETAIN PLANNING PROPOSAL TOWER SETBACK
OUTCOMES

- Significant positive impact of articulated and reduced southern podium height
- The reduced street-wall height and the articulated podium form delivers built form relief at the southern end of the laneway
- No noticeable impact on 'visual amenity' between AK Planning building tower form and the proposed tower form set back to church lane
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback



VIEW 1 - CORNER OF ANGELO
 LANE AND McLAREN ST



PLANNING PROPOSAL BUILDING FORM



VIEW 2 - MCLAREN ST OPPOSITE CHURCH ST

North Sydney - 253-267 Pacific Hwy



AK PLANNING BUILDING FORM

REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2m TOWER SETBACK TO CHURCH LANE

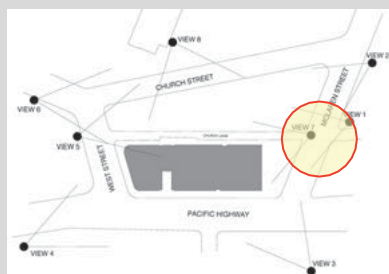


VIEW 2 - MLAREN ST OPPOSITE CHURCH ST



COMPARISON OF THE TWO SCENARIOS

- The reduced streetwall height and the transitional form delivers built form relief to the southern end of the site. The reduction in visual bulk is most evident to the rear of No 6 Mdaren St at the corner of Mdaren St and Pacific Hwy.
- The additional 2m tower setback does not alter the composition of the view or the scale relationship in terms of the contemporary taller tower forms presenting as a visual backdrop to the lower scale dwellings further east.
- A very minor change to the view is associated with the additional tower setback but it does not alter that character of the view and is considered unlikely to be perceived by common man.



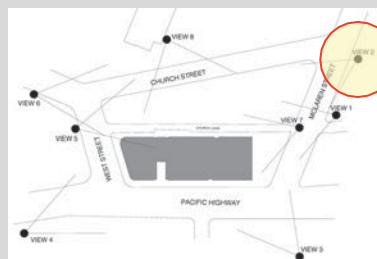
VIEW 2 - MDAREN ST OPPOSITE CHURCH ST



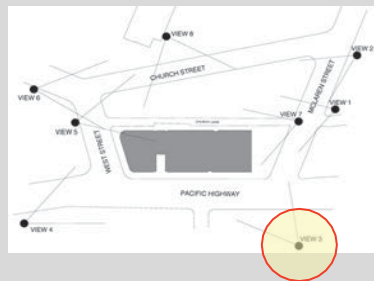
REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & RETAIN PLANNING PROPOSAL TOWER SETBACK

OUTCOMES

- Significant positive impact of articulated and reduced southern podium height
- The reduced street-wall height and the articulated podium form delivers built form relief at the southern end of the laneway
- No noticeable impact on 'visual amenity' between AK Planning building tower form and the proposed tower form set back to church lane
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback

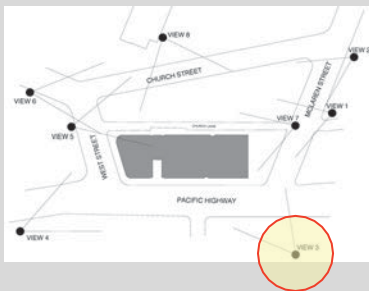


VIEW 2 - McLAREN ST OPPOSITE CHURCH ST



PLANNING PROPOSAL BUILDING FORM

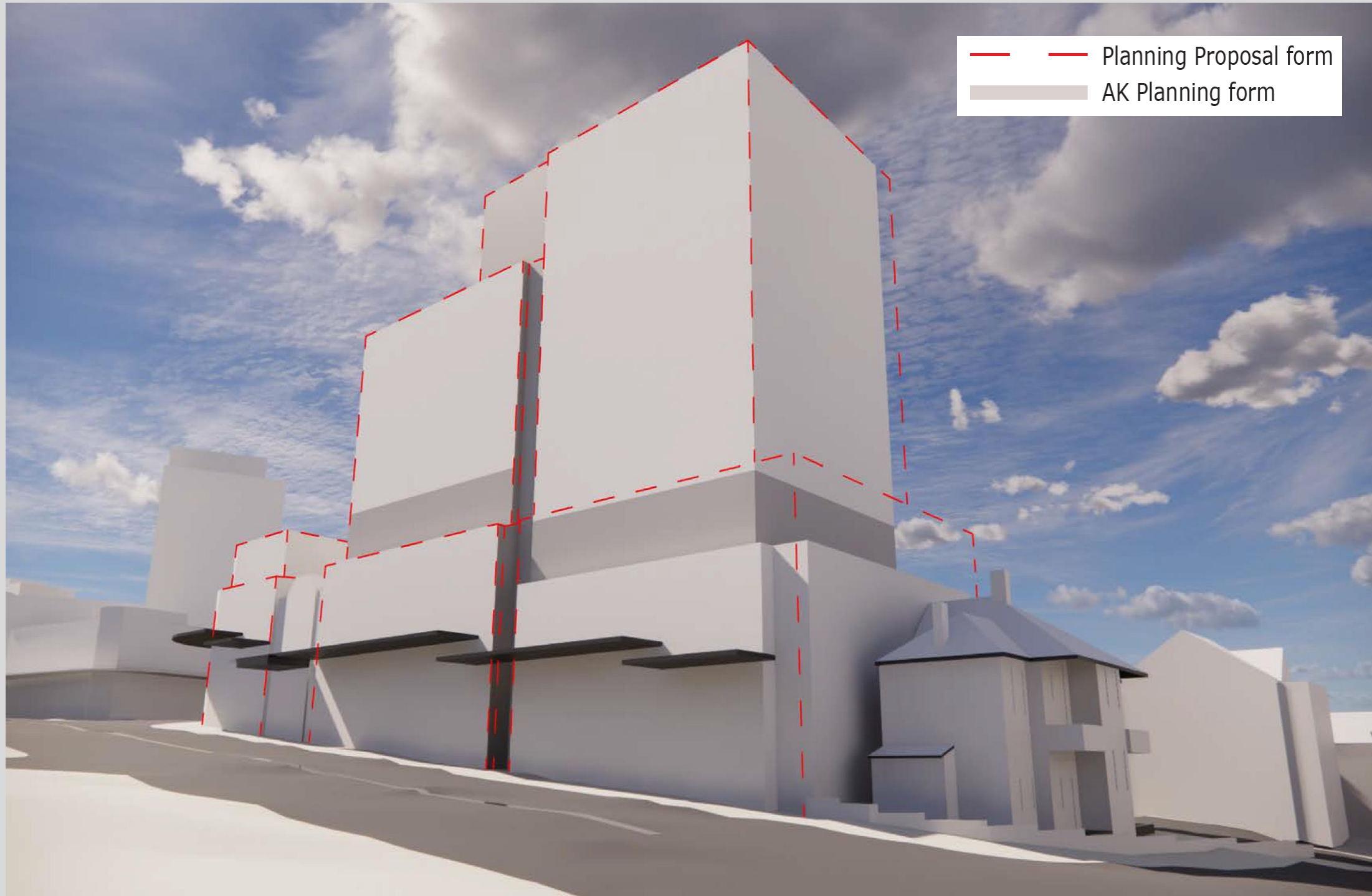
VIEW 3 – KU DEM SCHOOL KIDSCAPE ON PACIFIC HIGHWAY



AK PLANNING BUILDING FORM

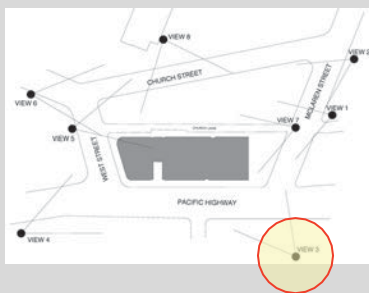
REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

VIEW 3 – KU DEM SCHOOL KIDSCAPE ON PACIFIC HIGHWAY



COMPARISON OF THE TWO SCENARIOS

- The reduced street wall scale responds to the stepped topography.
- The varied street wall height accentuates a finer grain to Pacific Hwy to ensure the visual presence of the podium form is reduced against the detailed contributory fabric. This is enhanced by the slender vertical proportions of the transitional form which is recessed from the front alignment of the podium.
- The increased tower setback is hardly visible in this view and is unlikely to be perceived from pedestrian or vehicular views

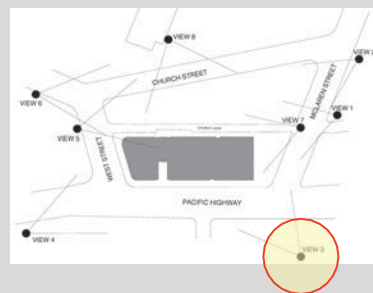


VIEW 3 – KU DEM SCHOOL KIDSCARE ON PACIFIC HIGHWAY



REVISED PROPOSAL- ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED OUTCOMES

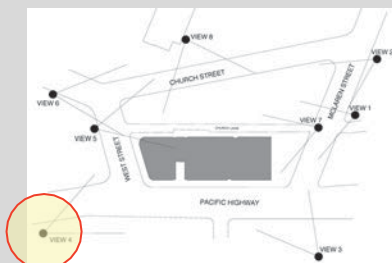
- The reduced streetwall scale delivers a stepped street wall profile, transitioning to No 6 Mdaren St interfacing the southern site edge.
- No noticeable impact on 'visual amenity' between AK Planning building tower form and the proposed tower form set back to church lane
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback



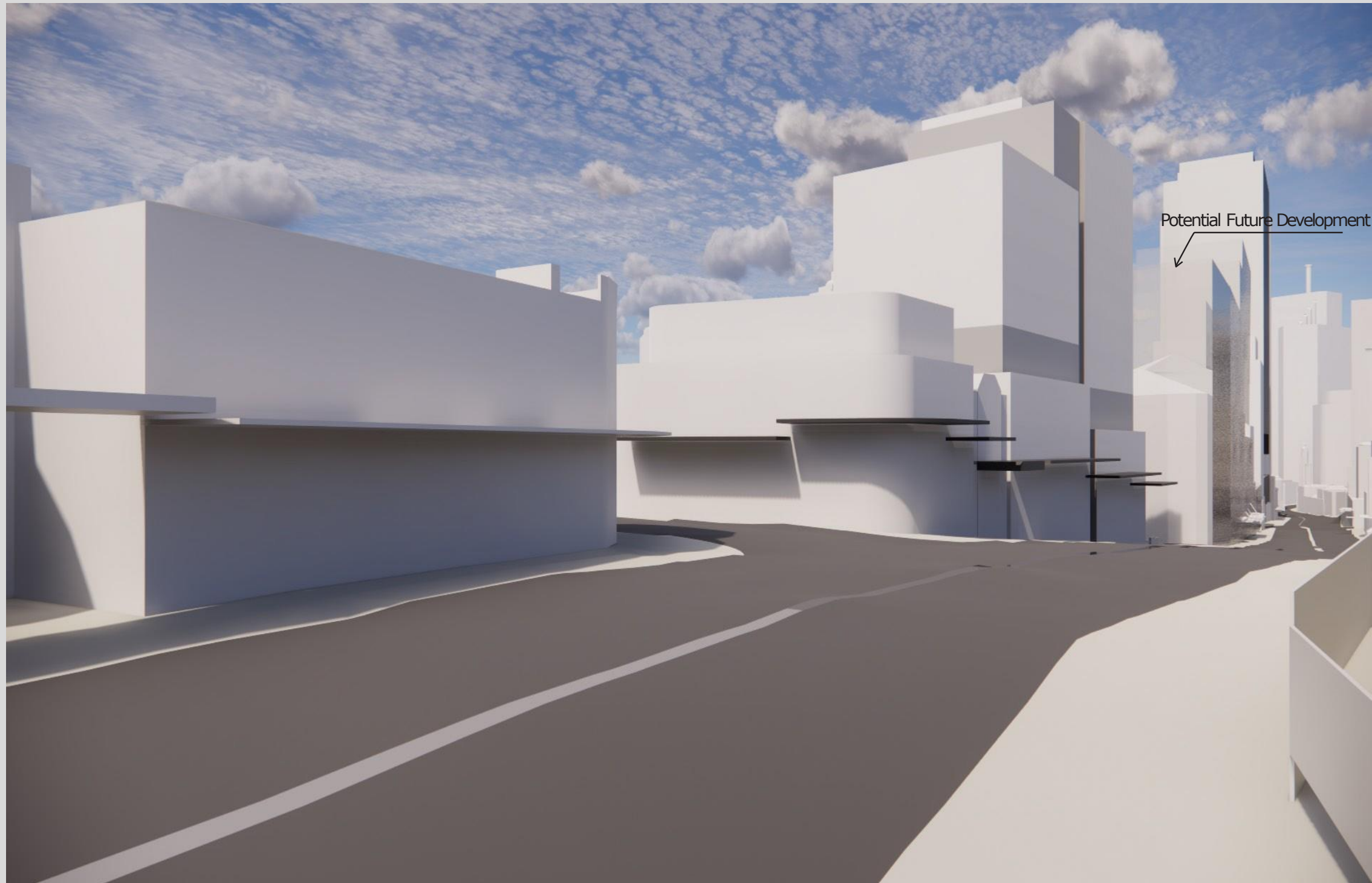
VIEW 3 – KU DEM SCHOOL KIDSCARE ON PACIFIC HIGHWAY



PLANNING PROPOSAL BUILDING FORM

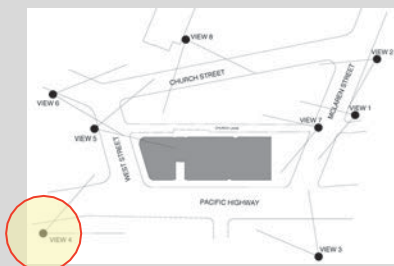


VIEW 4 – PACIFIC HWY OPPOSITE 'THE UNION HOTEL'

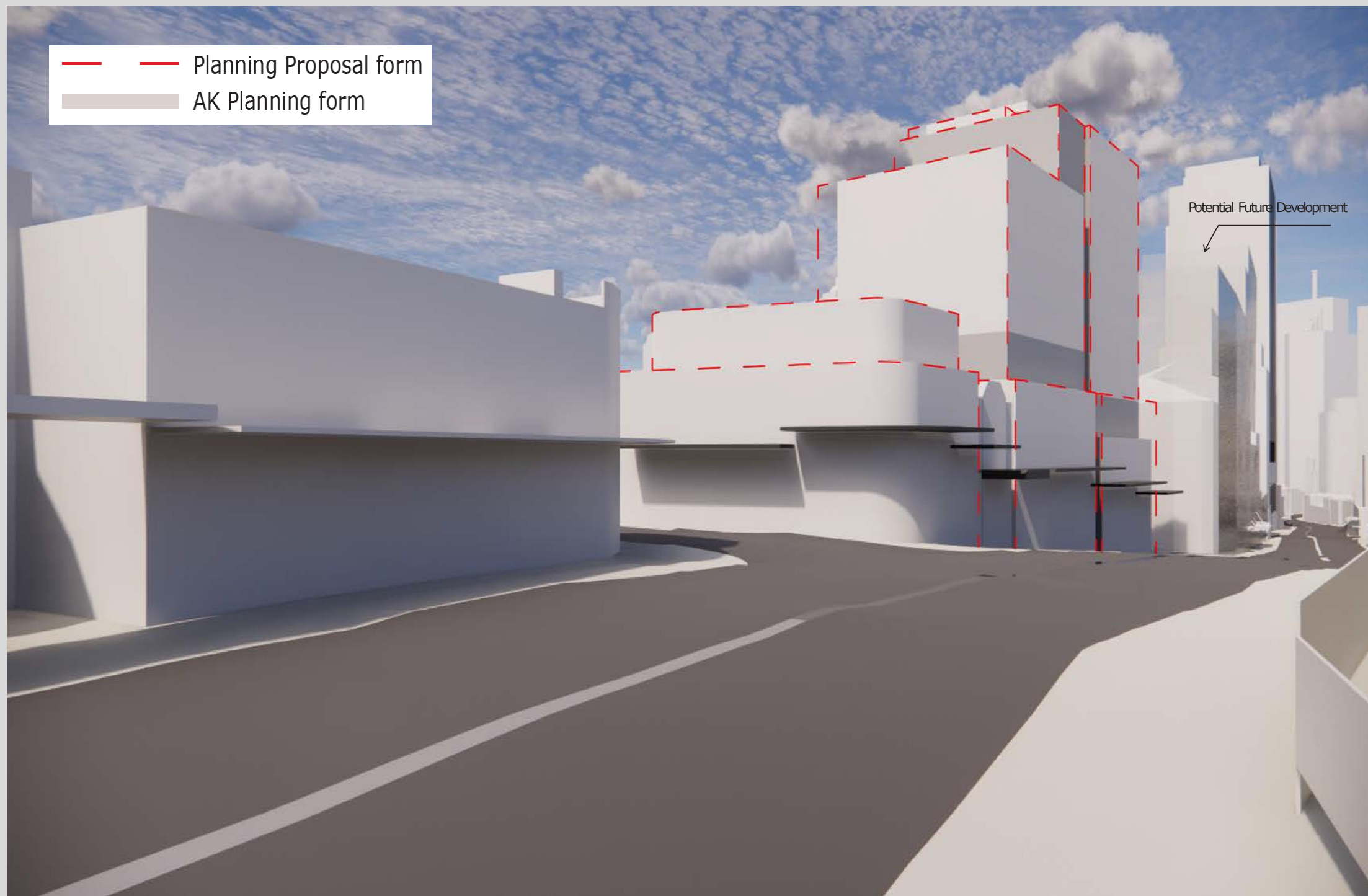


AK PLANNING BUILDING FORM

REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

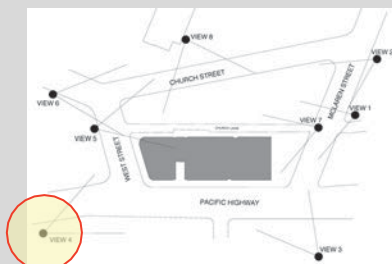


VIEW 4 – PACIFIC HWY OPPOSITE 'THE UNION HOTEL'



COMPARISON OF THE TWO SCENARIOS

- The reduced street wall scale responds to the stepped topography.
- The varied street wall height accentuates a finer grain to Pacific Hwy to ensure the visual presence of the podium form is reduced against the detailed contributory fabric. This is enhanced by the slender vertical proportions of the transitional form which is recessed from the front alignment of the podium.
- The increased tower setback is hardly visible in this view and is unlikely to be perceived from pedestrian or vehicular views

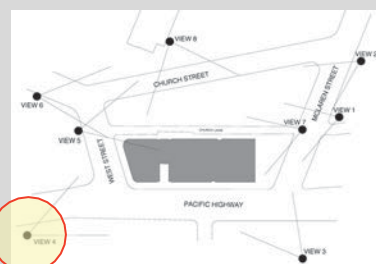


VIEW 4 – PACIFIC HWY OPPOSITE 'THE UNION HOTEL'

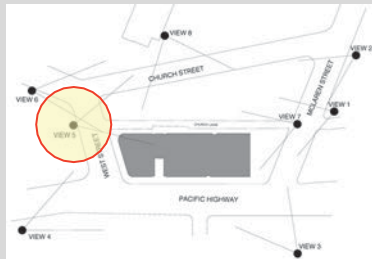


REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED OUTCOMES:

- The reduced streetwall scale delivers a stepped street wall profile, transitioning down along Pacific Highway
- No noticeable impact on 'visual amenity' between AK Planning building tower form and the proposed tower form set back to church lane
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback

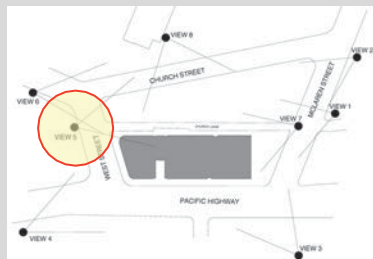


VIEW 4 - PACIFIC HWY OPPOSITE 'THE UNION HOTEL'



PLANNING PROPOSAL BUILDING FORM

VIEW 5 - WEST ST AT 'THE UNION HOTEL'



AK PLANNING BUILDING FORM

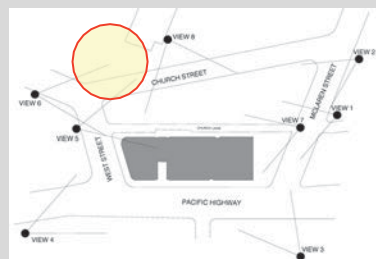
REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2m TOWER SETBACK TO CHURCH LANE

VIEW 5 - WEST ST AT 'THE UNION HOTEL'



COMPARISON OF THE TWO SCENARIOS

- The increased tower setback results in a minor change and does not alter the perceived scale relationship between the new built form and the dwellings along the eastern side of the laneway.
- The contrast in scale is characteristic of the north Sydney locality where contemporary medium and high-density development interfaces conservation areas. The high-rise environment is evident in this view forming a visual backdrop to the conservation area further south.
- The increased tower setback does not alter the composition of the view, resulting in only a minor reduction in sky exposure which is considered negligible as it will not be perceived by common man.
- The reduced streetwall scale is visible at the southern end of the laneway which responds to the sloping topography.



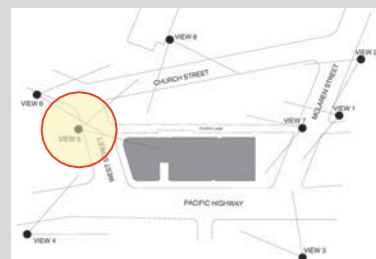
VIEW 5 - WEST ST AT THE UNION HOTEL



REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED

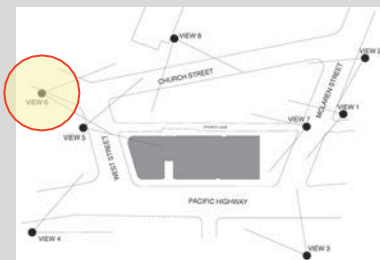
OUTCOMES

- The reduced street-wall height and the articulated podium form delivers built form relief at the southern end of the laneway
- The increased tower setback results in a minor change and importantly does not alter the perceived scale relationship between the new built form and the dwellings along the eastern side of the laneway.



**VIEW 5 - WEST ST AT THE
UNION HOTEL'**

Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback



PLANNING PROPOSAL BUILDING FORM

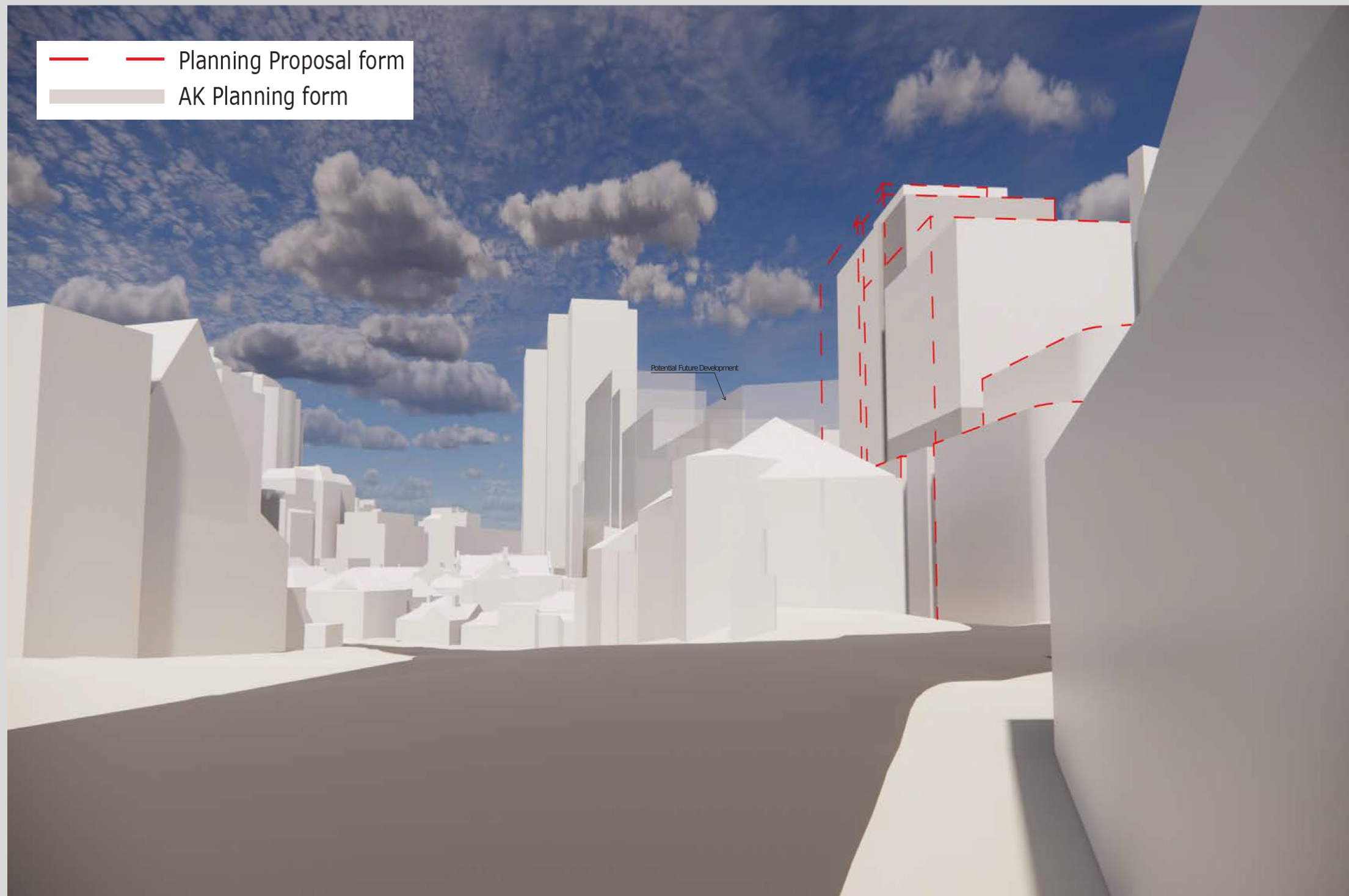
VIEW 6 - WEST ST TOWARDS CHURCH ST



AK PLANNING BUILDING FORM

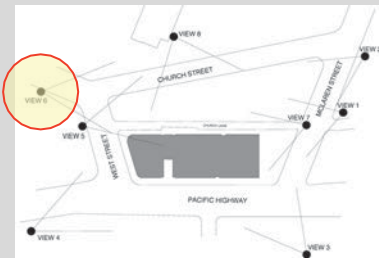
REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

VIEW 6 - WEST ST TOWARDS CHURCH ST

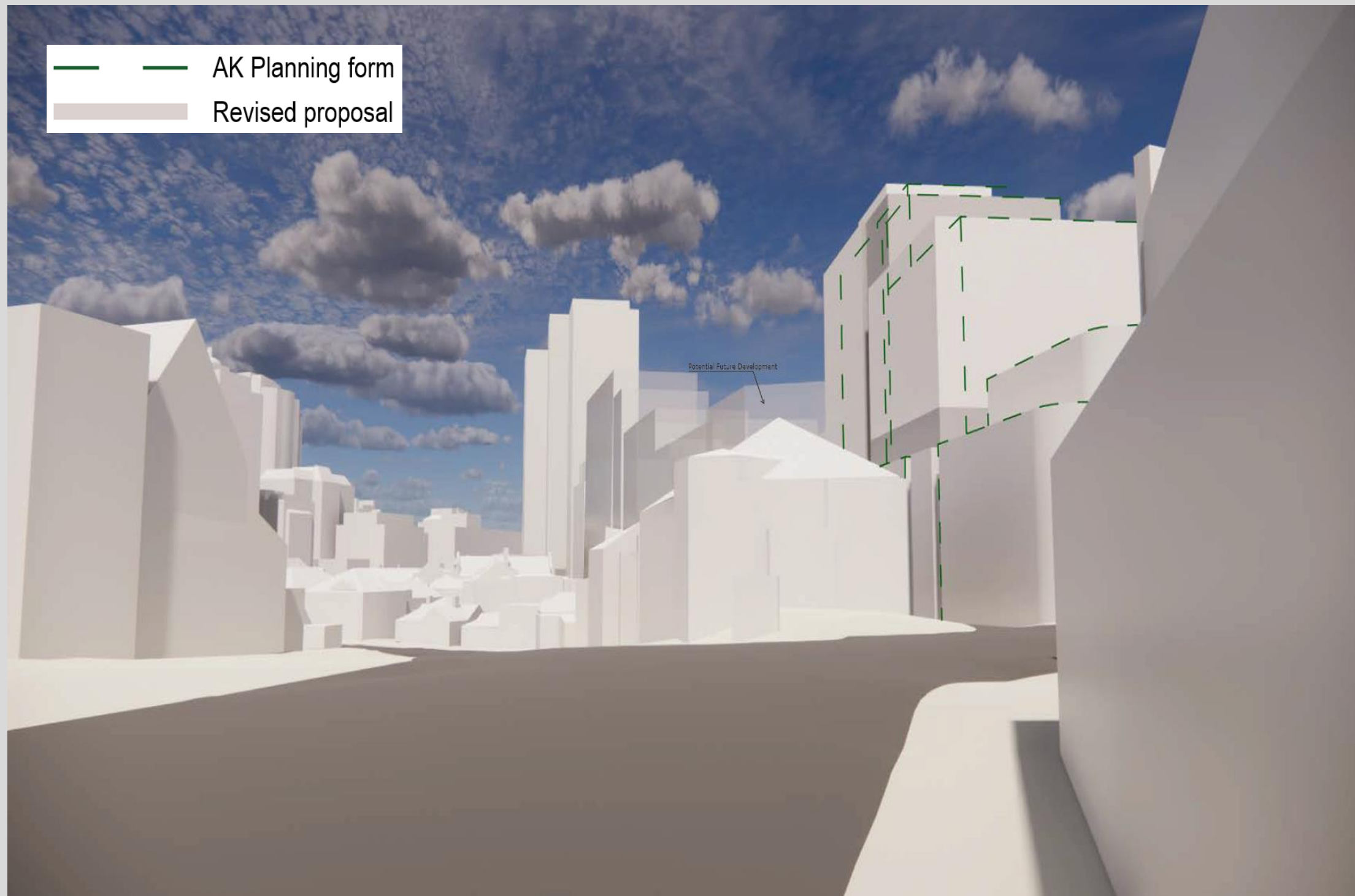


COMPARISON OF THE TWO SCENARIOS

- The new built form is seen in the distance. The site forms part of a wider cityscape backdrop against which, the conservation area and St Thomas Church is seen. The additional tower setback does not alter the scale relationship between the lower scale development and the new built form fronting the highway.
- The reduced streetwall scale is not perceived in this view.



VIEW 6 - WEST ST TOWARDS CHURCH ST



REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED OUTCOMES

- No noticeable impact on 'visual amenity' between AK Planning building tower form and the proposed tower form set back to church lane
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback

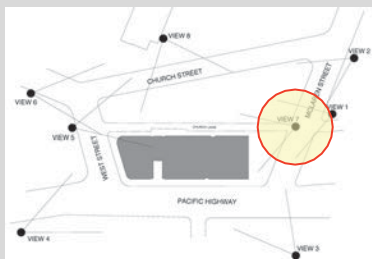
VIEW 6 - WEST ST TOWARDS CHURCH ST



PLANNING PROPOSAL BUILDING FORM

VIEW 7 - CHURCH LANE LOOKING NORTH

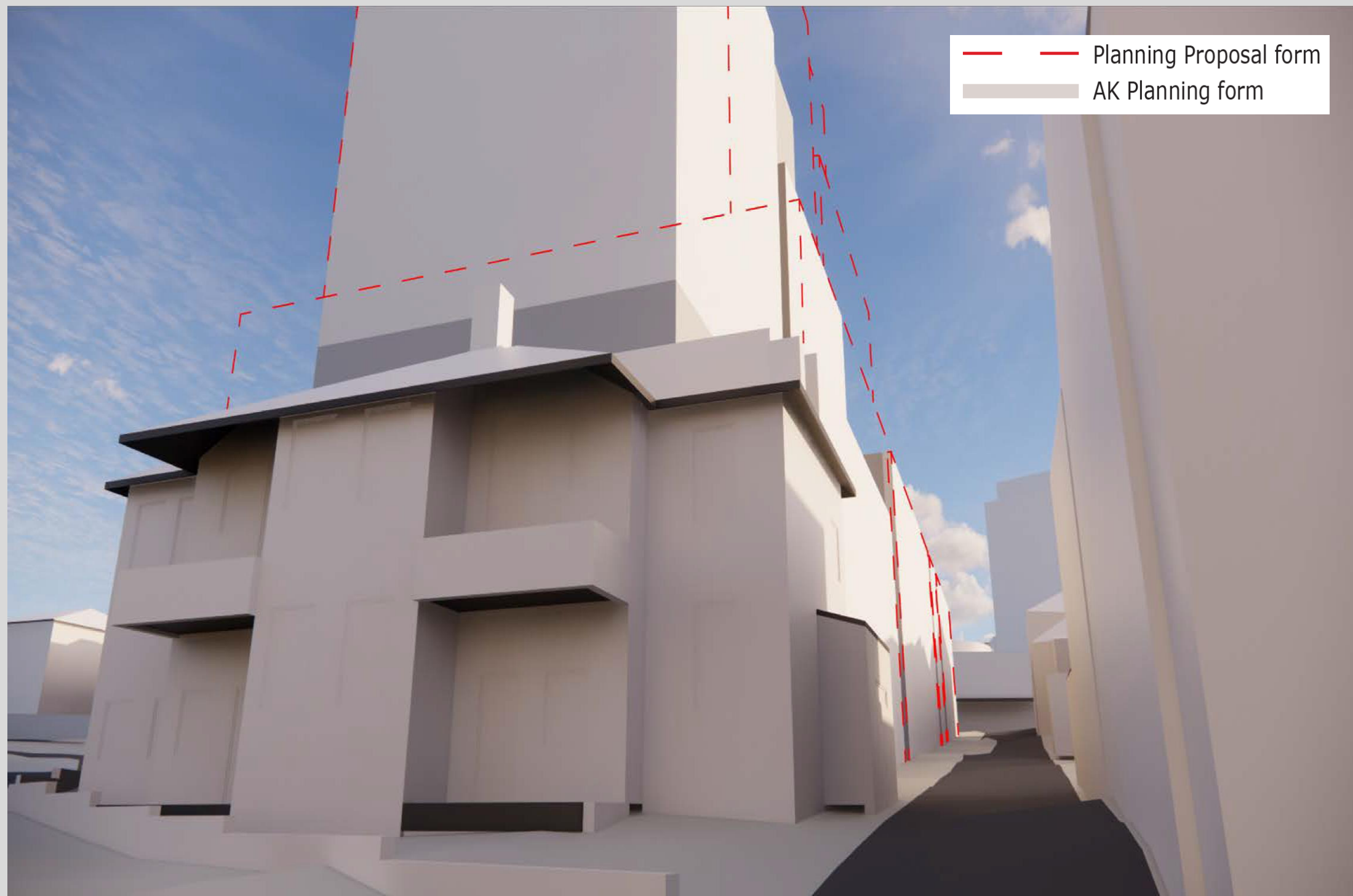
North Sydney - 253-267 Pacific Hwy



AK PLANNING BUILDING FORM

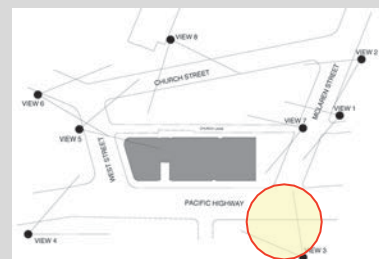
REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

VIEW 7 - CHURCH LANE LOOKING NORTH



COMPARISON OF THE TWO SCENARIOS

- The lowering of the street wall scale reduces visual bulk looking north along the laneway, resulting in a reduced sense of enclosure to the southern end of Church Lane.
- The reduced street wall reduces the amount of visible blank wall visible at the rear of No 6 Mdaren St so the profile of the existing building reads clearly.
- The change to the view due to the increased tower setback is minor and the only reason the minor area of reduced sky exposure is visible in this view, is that the view is directed upwards.

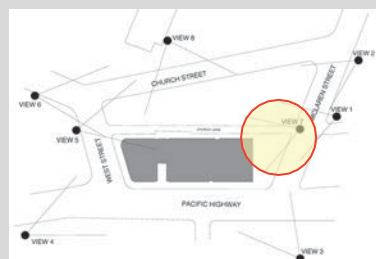


VIEW 7 - CHURCH LANE LOOKING NORTH

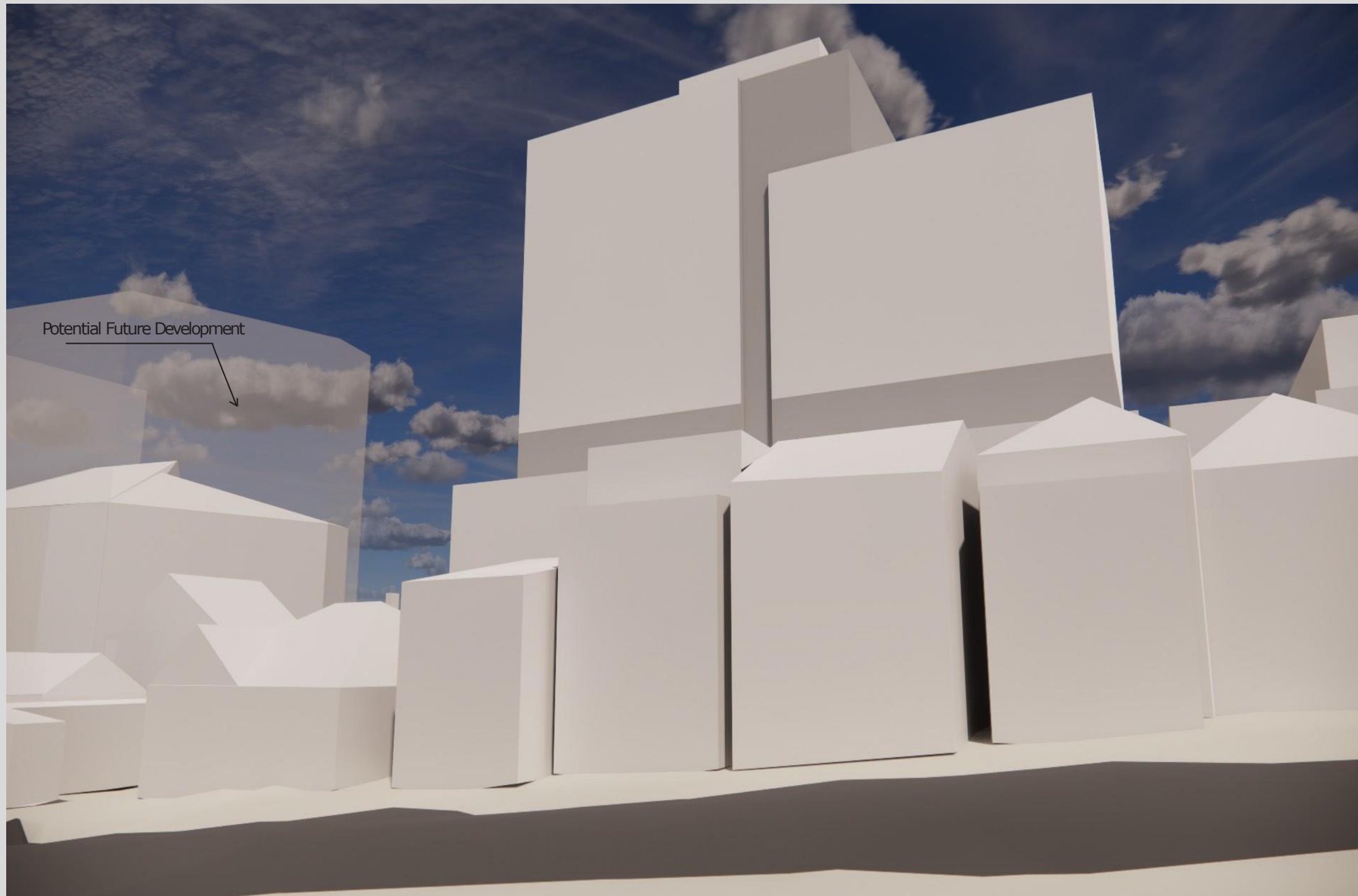


REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED OUTCOMES

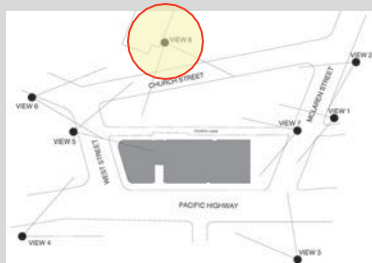
- The reduced street-wall height and the articulated podium form delivers built form relief at the southern end of the laneway
- The increased tower setback results in a minor change and importantly does not alter the perceived scale relationship between the new built form and the dwellings along the eastern side of the laneway.
- Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback



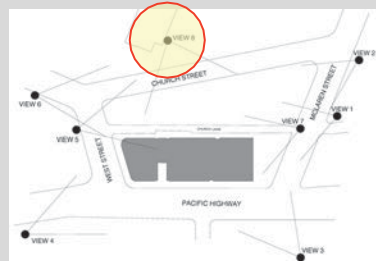
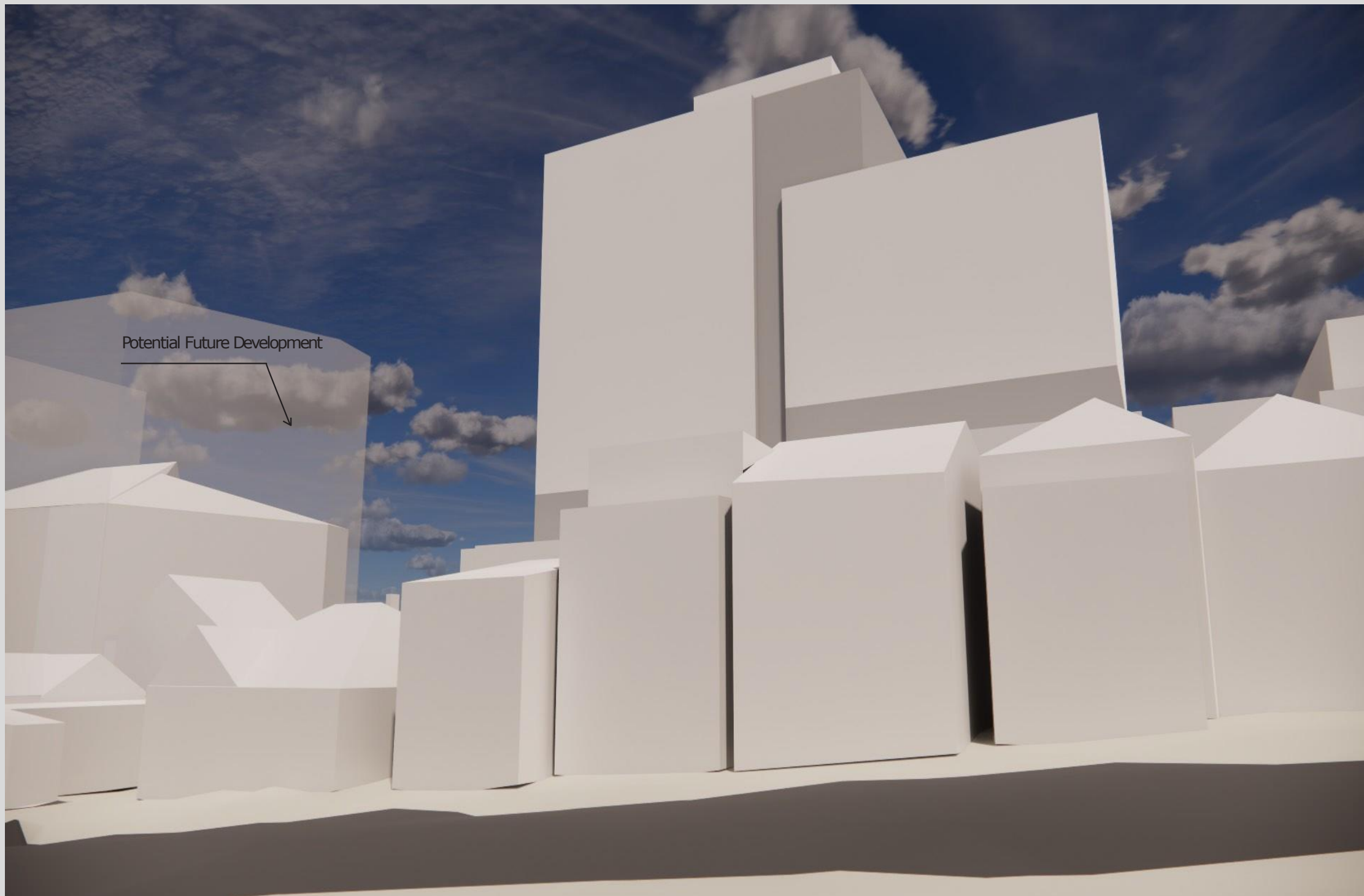
VIEW 7 - CHURCH LANE LOOKING NORTH



PLANNING PROPOSAL BUILDING FORM



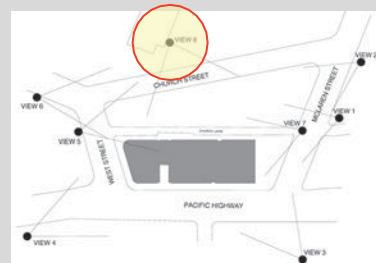
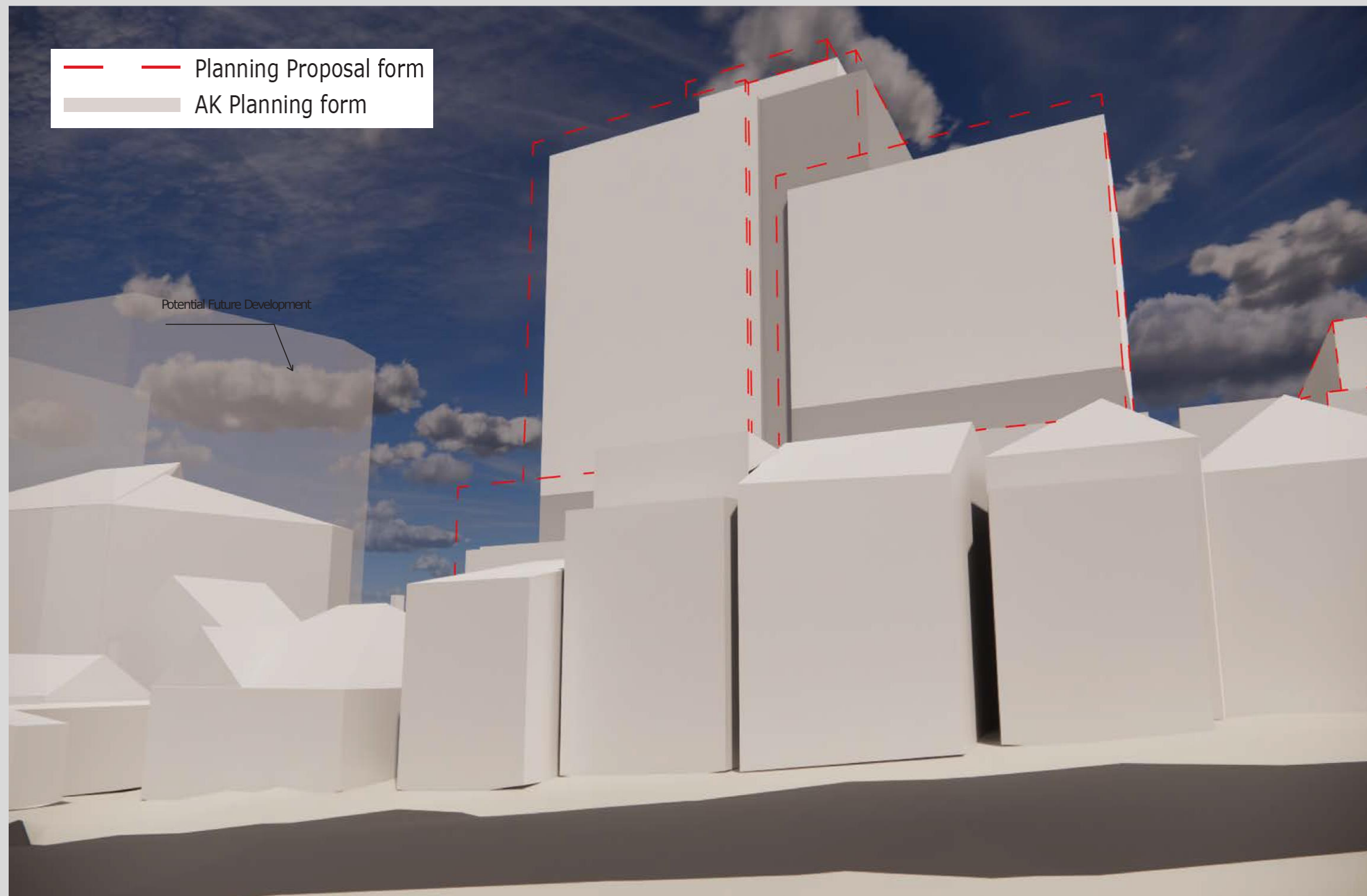
VIEW 8 - ST THOMAS' ANGLICAN CHURCH STEPS VIEW (CHURCH ST)



AK PLANNING BUILDING FORM

REDUCED SOUTHERN PODIUM HEIGHT & ADDITIONAL 2 m TOWER SETBACK TO CHURCH LANE

VIEW 8 - ST THOMAS' ANGLICAN CHURCH STEPS VIEW (CHURCH ST)



COMPARISON OF THE TWO SCENARIOS

- The change associated with the increased tower setback is negligible and would not be perceived. Pedestrians would continue to view the new taller built form as the backdrop against which the conservation area is seen.
- The reduced street wall scale is perceived at the southern end of the site whereby the podium form is largely obstructed by the dwellings fronting Church St.

VIEW 8 - ST THOMAS' ANGLICAN CHURCH STEPS VIEW (CHURCH ST)



REVISED PROPOSAL - ARTICULATED TWO-STOREY SOUTHERN PODIUM & PLANNING PROPOSAL TOWER SETBACK RETAINED OUTCOMES

- As a result of the podium height reduction on the southern end its now hardly visible - resulting in enhanced visual amenity along Church Lane and Church Street
- The increased tower setback results in a minor change and importantly does not alter the perceived scale relationship between the new built form and the dwellings along Church st .

Improved building footprint options for amenity, apartment mix and utilities by retaining planning proposal setback



VIEW 8 - ST THOMAS' ANGLICAN CHURCH STEPS VIEW (CHURCH ST)

Conclusion

The comparative analysis demonstrates that a reduced street wall scale for the southern part of the site results in several positive outcomes for the design solution as follows:

- Reduced visual bulk and improved transition to the southern and eastern site edges.
- A stepped street wall profile to Pacific Hwy and Church Ln in response to the sloping topography.
- Enhanced fine grain proportions to the human scale environment along Pacific Hwy.
- A slender transitional form along the southern site edge to break up the continuous podium frontage and celebrate the interface between the contemporary and existing fabric.
- Reduced sense of enclosure to the laneway.

Therefore, the reduced street wall scale should be incorporated into the updated scheme.

- The increased tower setback will result in only very minor or negligible changes to pedestrian views which is unlikely to result in any real impact to the built form proportions as perceived by the casual observer, which is the test against which these proposed changes should be considered.
- The increased tower setback will substantially compromise the dimensions of a workable/viable tower footprint and with no perceivable visual bulk benefits demonstrated through the comparative analysis.

Therefore, the increased tower set back should not be adopted as part of the updated envelope.